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ACTS OF PARLIAMENT

All contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

GENERAL NOTES:

All relevant details, levels and dimensions to be checked and verified on site by the contractor prior to commencement.

Should drawings be scaled, dimensions to be checked with designer before implemented. Overall dimensions to take precedence.

Dimensions on drawings, or intended variations are to be cleared with the designer, prior to commencement.

Should products specified not be available it is imperative to notify the designer prior to substitution.

All works to be done in accordance with the National Building Regulations & South African National Standards.

The designer accepts no responsibility for errors resulting from misinterpretation of the drawings.

All dimensions are given in millimeters unless otherwise shown.

Engineer to interpret and advise all load bearing walls, beams, slabs and to provide the necessary details where applicable.

CONSTRUCTION NOTES:

FOUNDATIONS:
750x230mm concrete strip for 230mm brick walls, 700x230mm concrete strip for 230mm yard and boundary walls.

BRICK: 50mm cavity, 115mm brick, cavity to be concrete filled to DPC level structural foundations to engineer's details.

FLOORS:
Tiles on min 30mm thick screed on 100mm 15MPa concrete surface bed on 30mm heavy duty proof membrane on layers of 150mm well compacted fill to 98% MDD, A.A.S.H.T.O. DAMP PROOF MEMBRANE TO BE WELL LAPPED TO BRICKWALL DPC.

WALLS:
Main side brick, external walls to be double skin with 50mm cavity to a overall dimension of 230mm, no. 3 galvanized brick ties to 230mm cavity walls.
Internal walls to be 230mm double skin and 115mm single skin, galvanized ladder-type brickforce every 5th course with no. 2 courses additionally below window sills and above all openings.
Precast lintels over all openings and laid in accordance with manufacturer's instructions.
Steeled brickwork DPC to be a minimum of 150mm above ground level with weep holes every second course, roof, rainwater goods and downpipes all roof timbers to specialist engineer's specifications and manufacturer's instructions.

DELIMITERS:
15.5mm Rhinoboard smooth skinned fixed to 38 x 38mm bracing at 400mm c/c fixed to underside of rafters.

LEAN TO:
3700mm clean colorbond ultra 'ore grey' metal roof sheeting fixed to 76 x 50mm timber purlins at 760 c/c on 228mm x 38mm timber rafters at 1200mm c/c. Rafters supported on post one side and built into wall on other or supported by horizontal bearer beam 228mm x 50mm fixed between posts.

ROOF:
Clean colorbond ultra 'ore grey' (profile as per existing dwellings in estate), aluminum continuous gutters complete with 75mm diam. downpipes, metal roof sheeting fixed to 76 x 50mm timber purlins at 760 c/c on 228mm x 38mm timber rafters at 1200mm c/c. Rafters supported on post one side and built into wall on other or supported by horizontal bearer beam 228mm x 50mm fixed between posts.

FLASHING TO ALL PARAPET WALLS:
All timber trusses & rafters to be DPC wrapped when built into walls.

GENERAL NOTES:
All work to be in accordance with the SANS 10400, dimensions and levels to be verified on site. Overall dimensions to take precedence over work to figured dimensions only. DPC to all vertical and horizontal openings. Foundations to be a minimum of 300mm below virgin soil. Gable ends to be tied back to trusses with HDGP IRON STRAP @ 600mm centres. Garage fl. 150mm above B.O.F. at driveway entrance.
HOUSE FL. 300mm above B.O.F. at boundary i.e. all glazing that is 1500mm to wall to comply with requirements of SANS 10137 & SANS 10400 Part 4. Access doors & side lights to have safety glass. Windows lower than 500mm from floor, windows lower than 1800mm above pitch line of stairs and shop fronts to be safety glass. All glazing to comply with SANS 10137.

RE'S OR IE'S AT ALL BENDS AND JUNCTIONS WITH MARKED COVERS AT GROUND LEVEL.

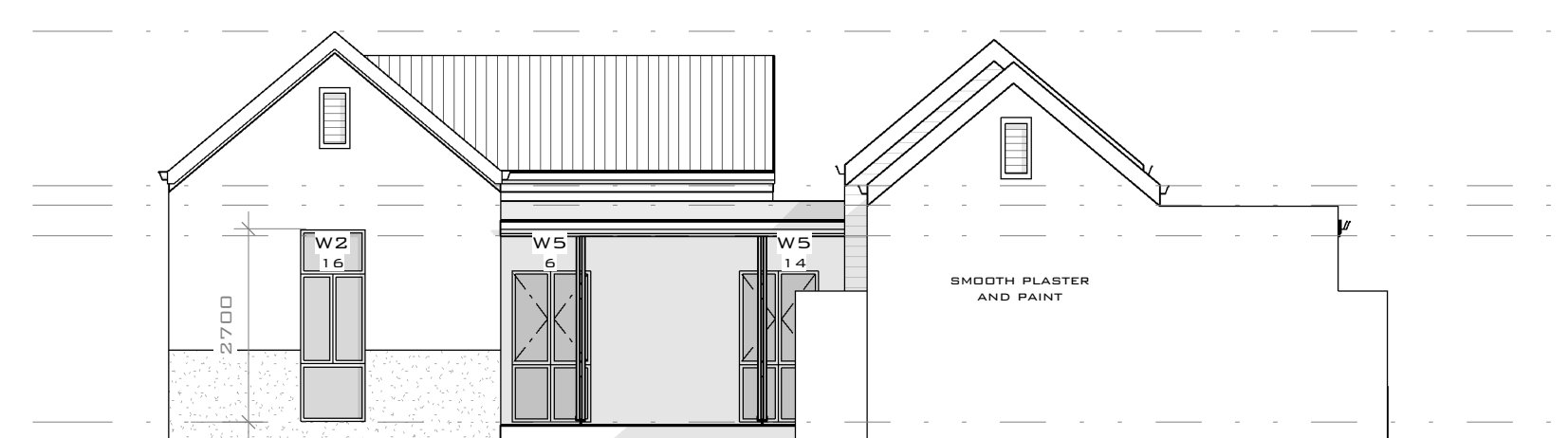
600MM BENDS TO DRAINAGE RUN.
MINIMUM DEPTH OF 400MM BELOW COVER LEVEL.
COVER LEVEL 70MM ABOVE BOUNDARY I.E.
PARAPET WALL NOT TO EXCEED 500MM IN HEIGHT.
WALLS BETWEEN HOUSE AND GARAGE TO BE BEAMFILLED.
ALL HANDLES AND RE'S UNDER DRIVEWAYS OR CONCRETE SLABS TO BE SEALED WITH HEAVY DUTY COVER.
CONTRACTOR TO ENSURE THAT A BALANCED WATER PRESSURE SYSTEM IS INSTALLED WITH ALL VALVES ETC. HOUSED IN ROOF SPACE.



NORTH ELEVATION
SCALE: 1 : 100



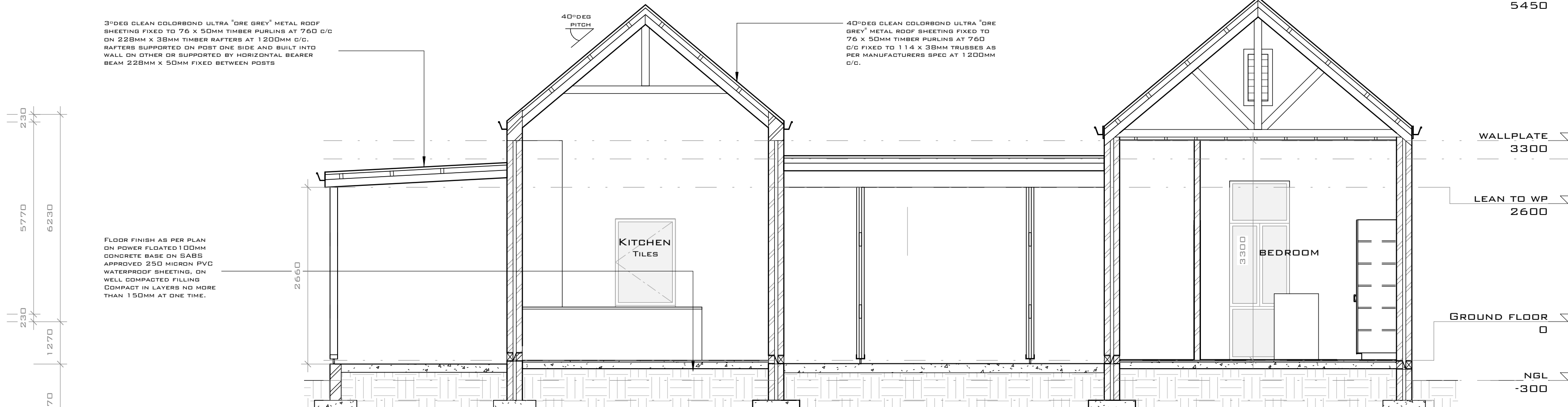
EAST ELEVATION
SCALE: 1 : 100



WEST ELEVATION
SCALE: 1 : 100



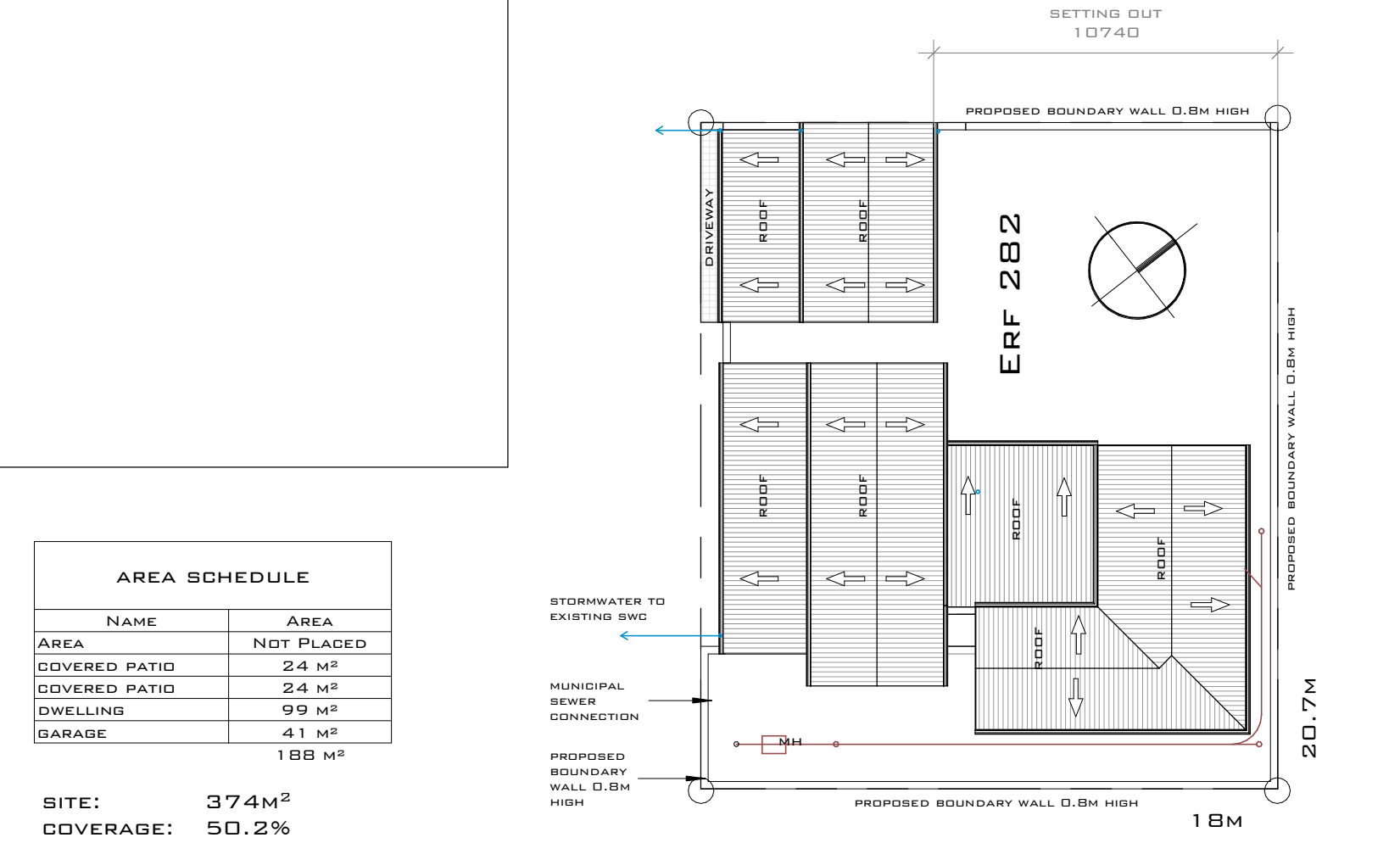
SOUTH ELEVATION
SCALE: 1 : 100



SECTION A-A
SCALE: 1 : 50



SECTION B-B
SCALE: 1 : 50



SITE PLAN
SCALE: 1 : 200

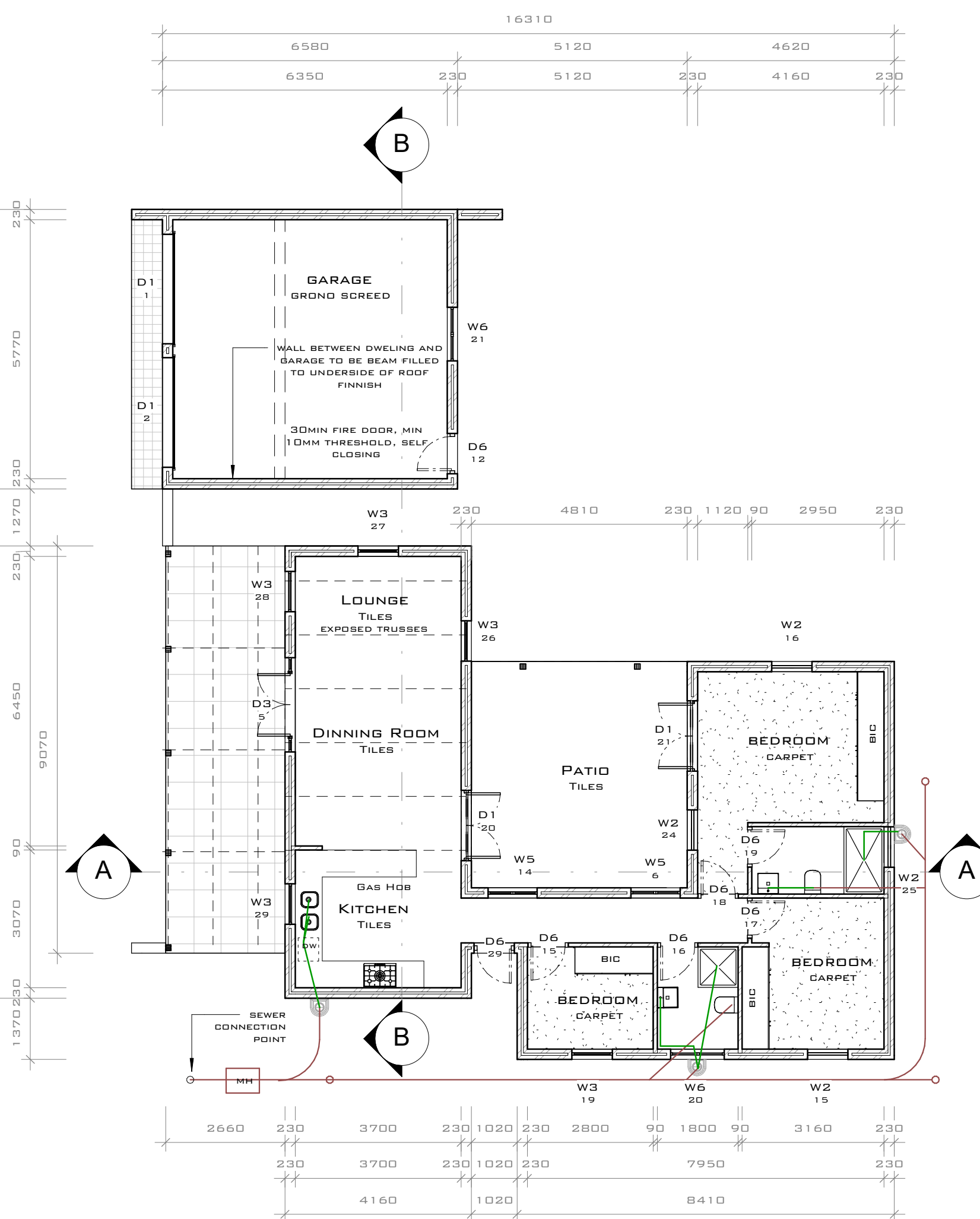
AREA SCHEDULE

NAME	AREA
COVERED PATIO	24 M ²
COVERED PATIO	24 M ²
DWELLING	99 M ²
GARAGE	41 M ²
	188 M ²

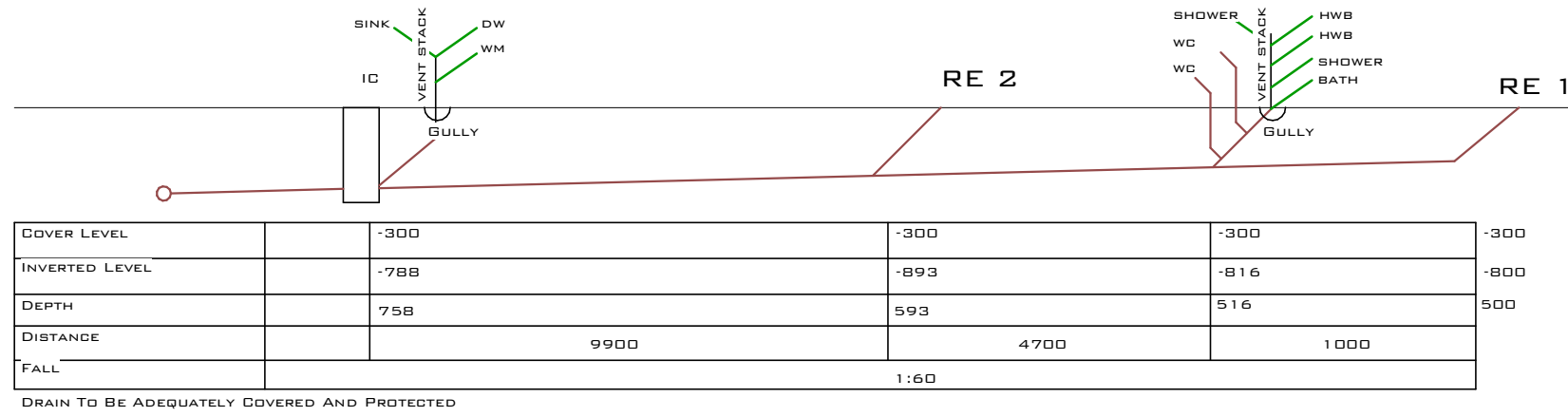
SITE: 374M²
COVERAGE: 50.2%

ENERGY EFFICIENCY ON PENETRATION
HABITABLE AREA: 118 M²
PENETRATION: 39.7 M²
% ACHIEVED: 33.5%

DOES NOT COMPLY TO SANS 10400 XA RATIONAL ASSESSMENT ATTACHED



FLOOR PLAN
SCALE: 1 : 100



DRAINAGE SECTION
SCALE: 1 : 100

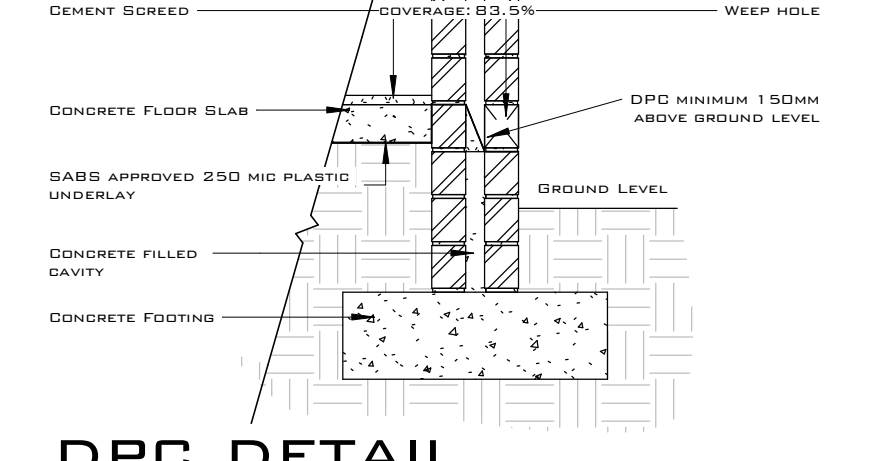
DOOR SCHEDULE

DESCRIPTION	MARK	HEIGHT	WIDTH	AREA
D1	1	2130	2440	5.19 M ²
D2	2	2100	2100	4.41 M ²
D3	3	2100	2100	4.41 M ²
D4	4	2100	900	1.89 M ²
D5	5	2100	900	1.89 M ²
D6	6	2100	900	1.89 M ²
D7	7	2100	900	1.89 M ²
D8	8	2100	900	1.89 M ²
D9	9	2100	900	1.89 M ²
D10	10	2100	1500	3.15 M ²
D11	11	2100	1500	3.15 M ²
D12	12	2100	900	1.89 M ²
D13	13	2100	900	1.89 M ²

WINDOW SCHEDULE

DESCRIPTION	MARK	HEIGHT	WIDTH	AREA
W5	6	2100	1100	2.31 M ²
W6	14	2100	1100	2.31 M ²
W7	15	2650	900	2.42 M ²
W8	16	2650	900	2.42 M ²
W9	19	1800	900	1.62 M ²
W10	20	1200	1200	1.44 M ²
W11	21	1200	1200	1.44 M ²
W12	24	2650	900	2.42 M ²
W13	25	2650	900	2.42 M ²
W14	26	1800	900	1.62 M ²
W15	27	1800	900	1.62 M ²
W16	28	1800	900	1.62 M ²
W17	29	1800	900	1.62 M ²
				25.27 M ²

- ALL STORM WATER FROM DOWNPIPES AND ROOFS TO BE LEAD TO MUNICIPAL STORM WATER DRAINAGE BY STORM WATER CHANNELS.
- ENGINEER SPECIFICATIONS TO TAKE PRECEDENCE.
- PLANS IN ACCORDANCE WITH SDP APPROVED BUILDING MASSING.
- ALL WINDOWS WITHIN 1.8M OF SHOWER OR BATH TO BE SAFETY GLAZED.



DPC DETAIL
SCALE: 1 : 20

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AMPHORIA
SIGNATURES
AUTHOR: _____ OWNER: _____

PHILADELPHIA
MEUL ROAD
ERF 282

PROPOSED NEW DWELLING

15 APRIL 2019 DRAWN RB - MLB
PHIL282-01-01
SCALE: AS INDICATED SACAP REG: T1248