

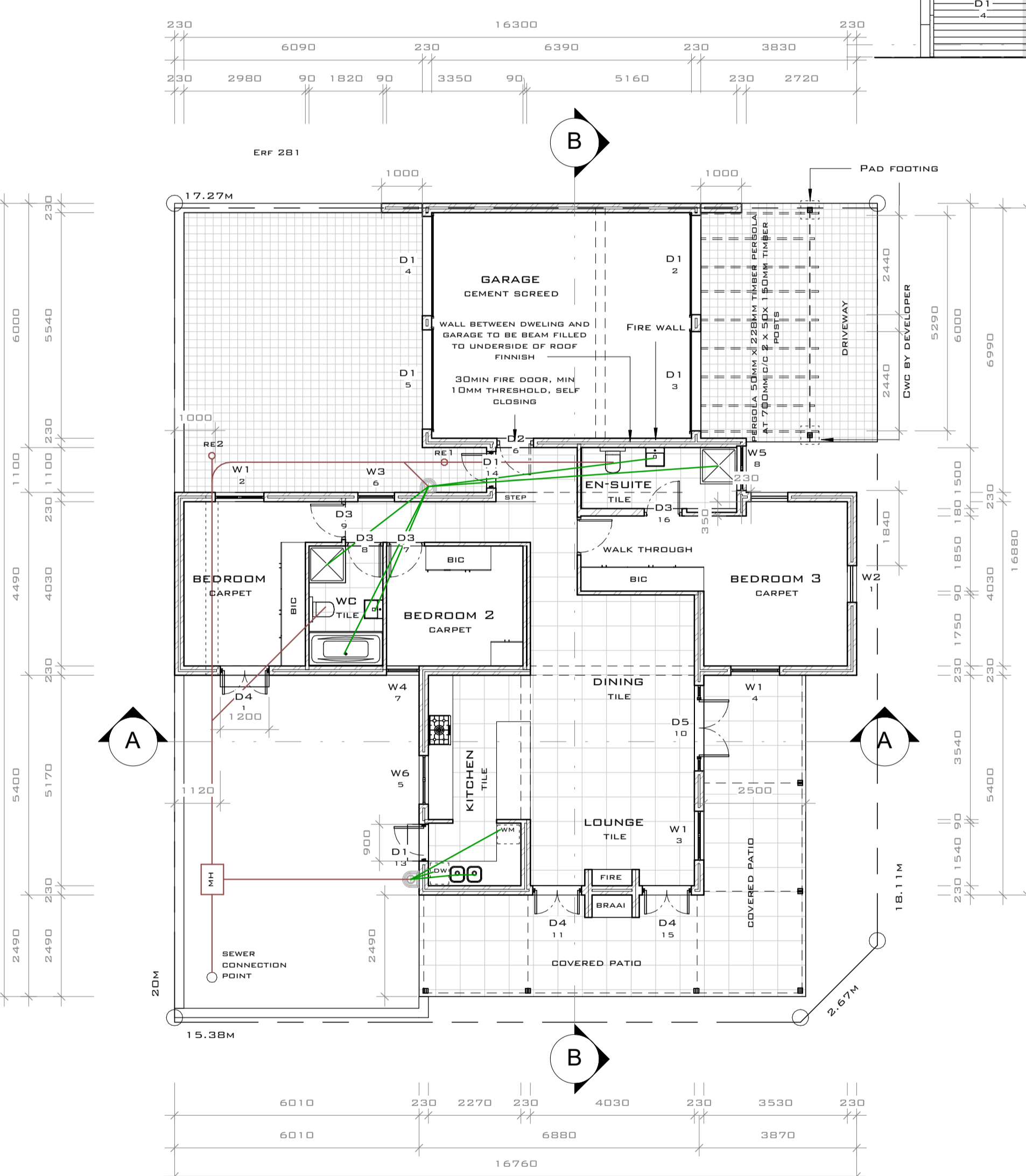
AREA SCHEDULE	
NAME	AREA
COVERED PATIO	37 M ²
DWELLING	119 M ²
GARAGE	41 M ²
	198 M ²

SITE: 343.6m²
 COVERAGE: 57.6%

ENERGY EFFICIENCY ON FENESTRATION
 HABITABLE AREA: 108 M²
 FENESTRATION: 29.7M²
 % ACHIEVED: 27.5 %
 DOES NOT COMPLY TO SANS 10400 KA
 RATIONAL ASSESSMENT
 ATTACHED

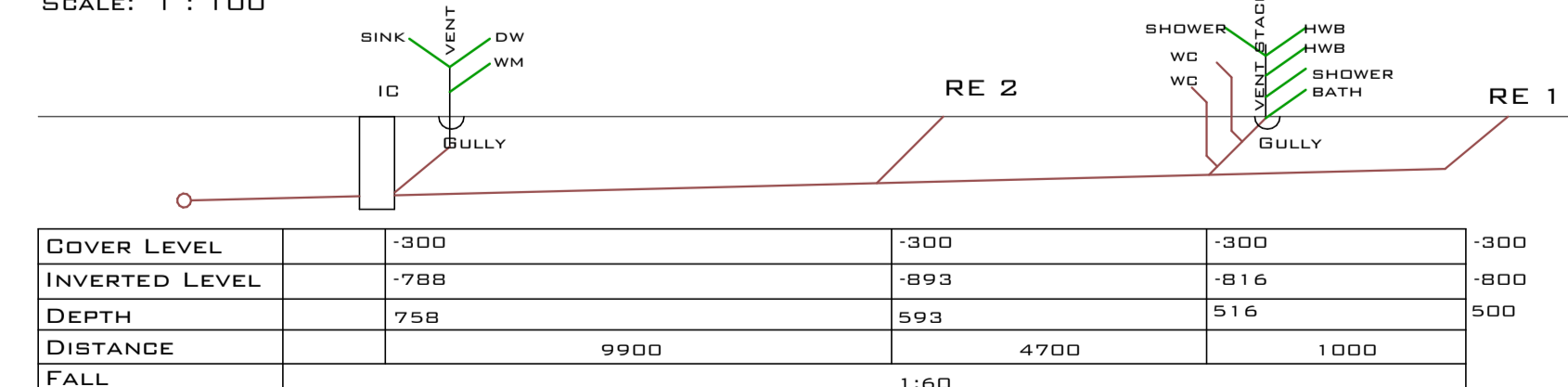
SITE PLAN

SCALE: 1 : 200



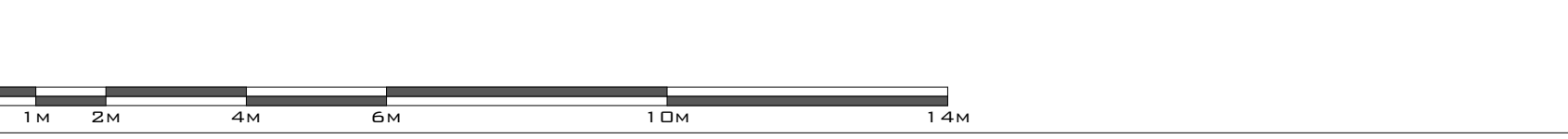
GROUND FLOOR PLAN

SCALE: 1 : 100



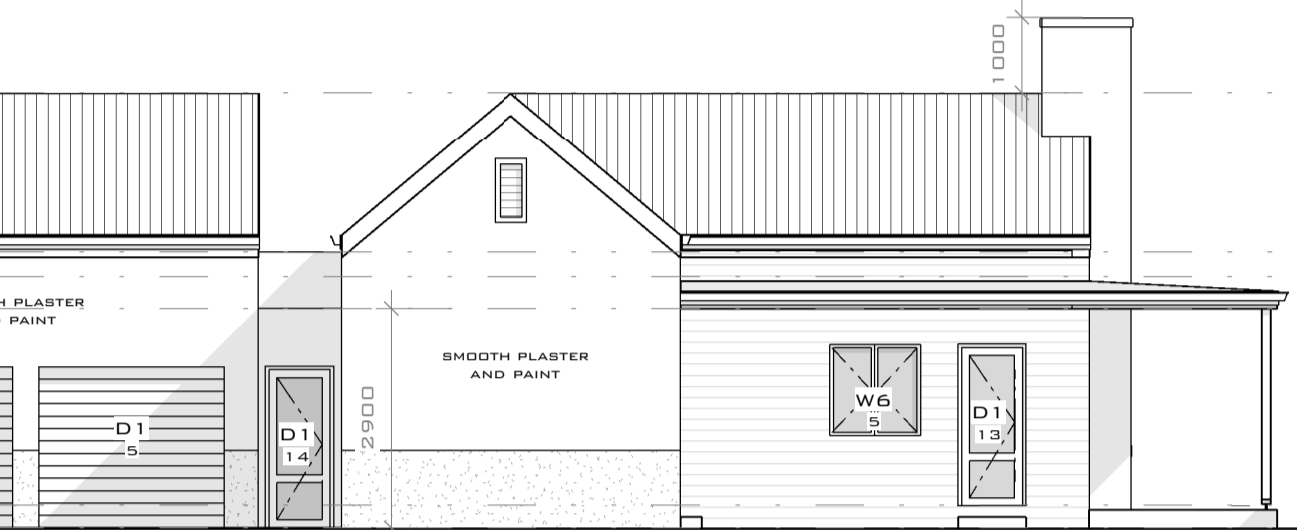
DRAINAGE SECTION

SCALE: 1 : 100



WEST ELEVATION

SCALE: 1 : 100



SOUTH ELEVATION

SCALE: 1 : 100



EAST ELEVATION

SCALE: 1 : 100



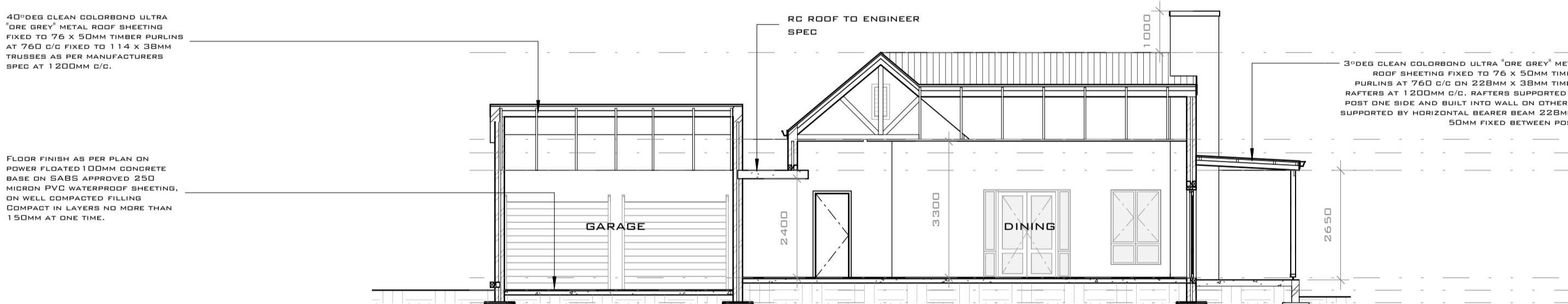
NORTH ELEVATION

SCALE: 1 : 100



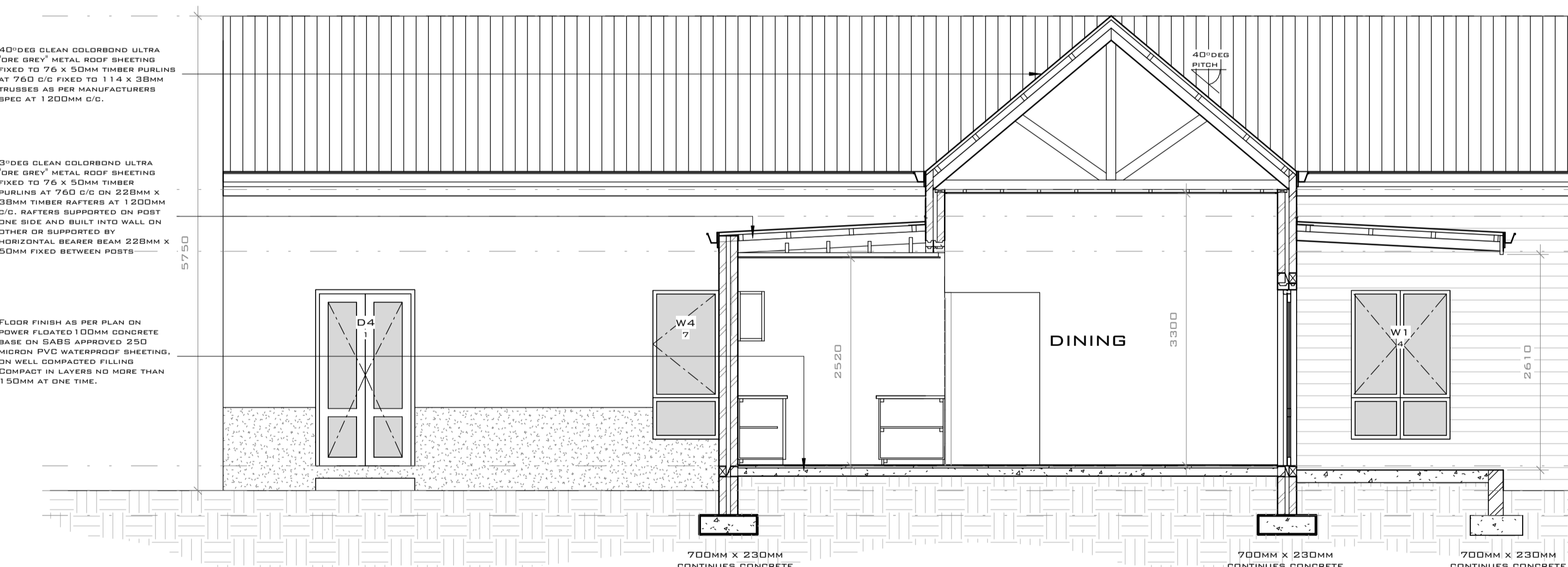
SECTION B-B

SCALE: 1 : 100



SECTION A-A

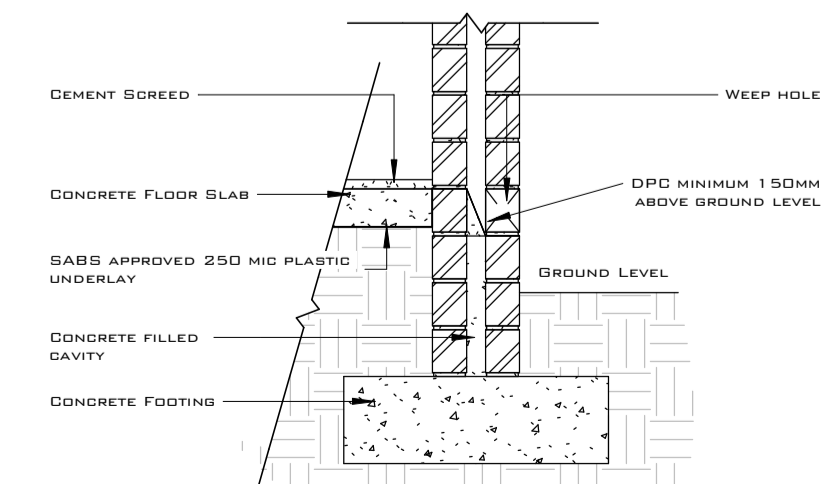
SCALE: 1 : 50



DOOR SCHEDULE					
DESCRIPTION	MARK	HEAD HEIGHT	HEIGHT	WIDTH	AREA
D4	1	2100	2100	1200	2.52 M ²
D1	2	2140	2130	2440	5.19 M ²
D1	3	2140	2130	2440	5.19 M ²
D1	4	1840	2130	2440	5.19 M ²
D1	5	1840	2130	2440	5.19 M ²
D2	6	2100	2100	930	1.94 M ²
D3	7	2100	2100	930	1.94 M ²
D3	8	2100	2100	930	1.94 M ²
D3	9	2100	2100	930	1.94 M ²
D5	10	2100	2100	1200	2.52 M ²
D4	11	2100	2100	1200	2.52 M ²
D1	13	2100	2100	900	1.89 M ²
D1	14	2110	2100	900	1.89 M ²
D4	15	2100	2100	1200	2.52 M ²
D3	16	2100	2100	930	1.94 M ²
D3	17	2100	2100	930	1.94 M ²
					48.09 M ²

WINDOW SCHEDULE					
DESCRIPTION	MARK	HEAD HEIGHT	HEIGHT	WIDTH	AREA
W2	1	2990	2690	900	2.42 M ²
W1	2	2130	1800	1200	2.16 M ²
W1	3	2130	1800	1200	2.16 M ²
W1	4	2130	1800	1200	2.16 M ²
W6	5	2130	1200	1200	1.44 M ²
W3	6	2130	1800	900	1.62 M ²
W4	7	2130	1800	800	1.44 M ²
W5	8	2130	2100	1100	2.31 M ²
W2	9	3130	2690	900	2.42 M ²
					18.12 M ²

- ALL STORM WATER FROM DOWNPIPES AND ROOFS TO BE LEAD TO MUNICIPAL STORM WATER DRAINS BY STORM WATER CHANNELS.
- ENGINEERS SPECIFICATIONS TO TAKE PREFERENCE.
- PLANS IN ACCORDANCE WITH SDP APPROVED BUILDING MASSING.
- ALL WINDOWS WITHIN 1.5M OF SHOWER OR BATH TO BE SAFETY GLAZED.



DPC DETAIL

SCALE: 1 : 20

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GENERAL NOTES:

ALL CONTRACTORS SHALL ENSURE THAT, BEFORE ANY WORK IS PUT IN HAND, THEY COMPLY WITH ALL THE NECESSARY ACTS OF PARLIAMENT OF THE REPUBLIC OF SOUTH AFRICA. THE LICENSEE CONFERS NO OWNERSHIP RIGHTS IN THE DRAWING OR ANY PART THEREOF AND THE CLIENT SHALL REMAIN THE SOLE OWNER OF THE DRAWING. THE LICENSEE CONFERS NO OWNERSHIP RIGHTS IN THE DRAWING OR ANY PART THEREOF AND THE CLIENT SHALL REMAIN THE SOLE OWNER OF THE DRAWING. THE LICENSEE CONFERS NO OWNERSHIP RIGHTS IN THE DRAWING OR ANY PART THEREOF AND THE CLIENT SHALL REMAIN THE SOLE OWNER OF THE DRAWING. THE LICENSEE CONFERS NO OWNERSHIP RIGHTS IN THE DRAWING OR ANY PART THEREOF AND THE CLIENT SHALL REMAIN THE SOLE OWNER OF THE DRAWING.

CONSTRUCTION NOTES:

FOUNDATIONS: 750X230MM CONCRETE STRIP FOR 230MM BRICK WALLS. 700X230MM CONCRETE STRIP FOR 230MM YARD AND BOUNDARY WALLS. BRICK, 50MM CAVITY, 115MM BRICK). CAVITY TO BE CONCRETE FILLED TO: OPC LEVEL/STRUCTURAL FOUNDATIONS TO ENGINEER'S DETAILS. FLOORS: TILES ON MIN 30MM THICK SCREED ON 100MM 15MPA CONCRETE SURFACE BED ON 350MM HIGH DRAIN PROOF MEMBRANE ON LAYERS OF 150MM WEL COMPACTED FILLING TO 95% HD. A.A.H.I.T.D DAMP PROOF MEMBRANE TO BE WELL LAPPED TO BRICKWALL DPC. WALLS: MAIN SIDE BRICK. EXTERNAL WALLS TO BE DOUBLE SKIN WITH 50MM CAVITY TO A OVERALL DIMENSION OF 230MM. NO. 3 GALVANIZED BRICK TIES TO 230MM CAVITY WALLS. INTERNAL WALLS TO BE 230MM DOUBLE SKIN AND 115MM SINGLE SKIN. GALVANIZED LADDER-TYPE BRICKTIES EVERY 5TH COURSE WITH NO. 2 COURSES ADDITIONALLY BELOW WINDOW SILLS AND ABOVE ALL OPENINGS. PRECAST LINTOLS OVER ALL OPENINGS AND LAID IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. STEREO BRICKWORK DPC TO BE A MINIMUM OF 150MM ABOVE GROUND LEVEL WITH WEEP HOLES EVERY SECOND PERPEND. ROOF, RAINWATER GOODS AND DRAINAGE: ALL ROOF TIMBERS TO SPECIALIST ENGINEER'S SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS. DELINERS: 15.5MM RHINOBOARD SMOOTH SKIMMED FIXED TO 38 X 38MM BRANDING AT 400MM E/C FIXED TO UNDERSIDE OF RAFTERS.

LEAN TO: 3700 CLEAN COLORBOND ULTRA 'ORE GREY' METAL ROOF SHEETING FIXED TO 76 X 50MM TIMBER PURLINS AT 760 O/C ON 228MM X 38MM THINER RAFTERS AT 1200MM C/C. RAFTERS SUPPORTED ON POST ONE SIDE AND BUILT INTO WALL ON OTHER OR SUPPORTED BY HORIZONTAL BEARER BEAM 228MM X 50MM FIXED BETWEEN POSTS.

ROOF: CLEAN COLORBOND ULTRA 'ORE GREY' (PROFILE AS PER EXISTING DWELLINGS IN ESTATE). ALUMINIUM CONTINUOUS GUTTERS COMPLETE WITH 75MM DIAM. DOWNPIPES. METAL ROOF SHEETING FIXED TO 76 X 50MM TIMBER PURLINS AT 760 O/C ON 228MM X 38MM THINER RAFTERS AT 1200MM C/C. RAFTERS SUPPORTED ON POST ONE SIDE AND BUILT INTO WALL ON OTHER OR SUPPORTED BY HORIZONTAL BEARER BEAM 228MM X 50MM FIXED BETWEEN POSTS.

FLASHING TO ALL PARAPET WALLS. ALL TIMBER TRUSSES & RAFTERS TO BE DPC WRAPPED WHEN BUILT INTO WALLS.

GENERAL NOTES: ALL WORK TO BE IN ACCORDANCE WITH THE SANS 10400. DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE. OVERALL DIMENSIONS TO TAKE PRECEDENCE OVER DIMENSIONS TO TAKE PRECEDENCE. DIMENSIONS TO TAKE PRECEDENCE OVER DIMENSIONS TO TAKE PRECEDENCE. DIMENSIONS TO TAKE PRECEDENCE OVER DIMENSIONS TO TAKE PRECEDENCE. DIMENSIONS TO TAKE PRECEDENCE OVER DIMENSIONS TO TAKE PRECEDENCE.

RE'S OR IE'S AT ALL BENDS AND JUNCTIONS WITH MARKED COVERS AT GROUND LEVEL. 600MM BENDS TO DRAINAGE RUN. MINIMUM DEPTH OF 400MM BELOW COVER LEVEL. COVER LEVEL 70MM ABOVE BOUNDARY I.C. PARAPET WALL NOT TO EXCEED 500MM IN HEIGHT. WALLS BETWEEN HOUSE AND GARAGE TO BE BEAMFILLED. ALL HANDLES AND RE'S UNDER DRIVEWAYS OR CONCRETE SLABS TO BE SEALED WITH HEAVY DUTY COVER. CONTRACTOR TO ENSURE THAT A BALANCED WATER PRESSURE SYSTEM IS INSTALLED WITH ALL VALVES ETC. HOUSED IN ROOF SPACE.

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AMPHORIA

SIGNATURES
 AUTHOR: _____ OWNER: _____

PHILADELPHIA
 MEUL ROAD
 ERF 281

PROPOSED NEW DWELLING

8 APRIL 2019 DRAWN: RIKUS BRUWER

PHIL281-01-01

SCALE: AS INDICATED SACAP REG: T1248