

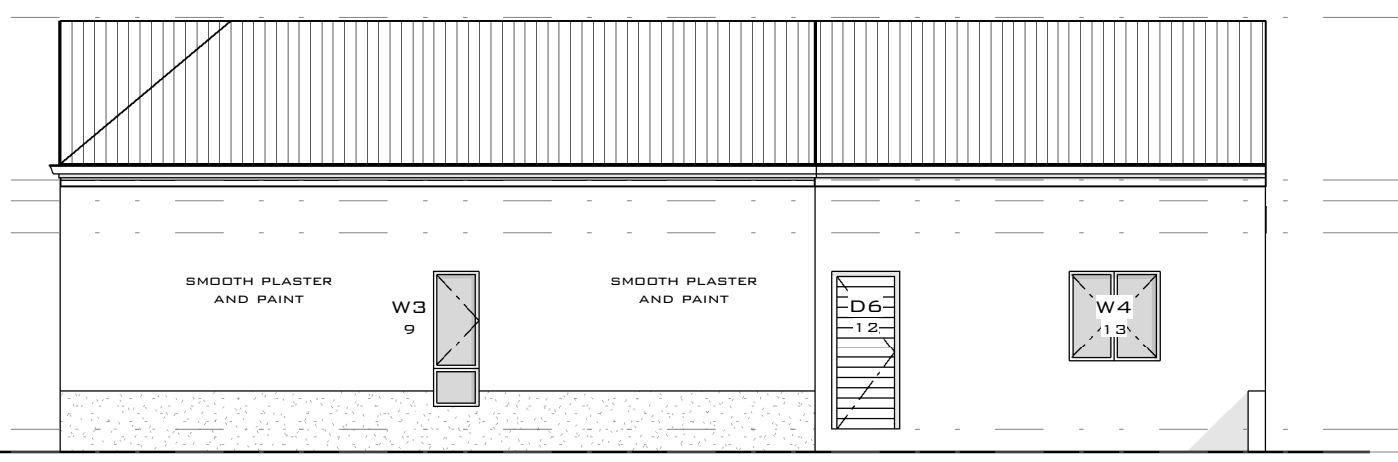
AREA SCHEDULE	
NAME	AREA
COVERED PATIO	37 M ²
DWELLING	119 M ²
GARAGE	41 M ²
TOTAL	197 M²

SITE COVERAGE: 57,6% 343,6M²

ENERGY EFFICIENCY ON FENESTRATION
 HABITABLE AREA: 118 M²
 FENESTRATION: 29,7M²
 % ACHIEVED: 35 %
 DOES NOT COMPLY TO SANS 10400 XA RATIONAL ASSESSMENT ATTACHED



WEST ELEVATION
SCALE: 1 : 100



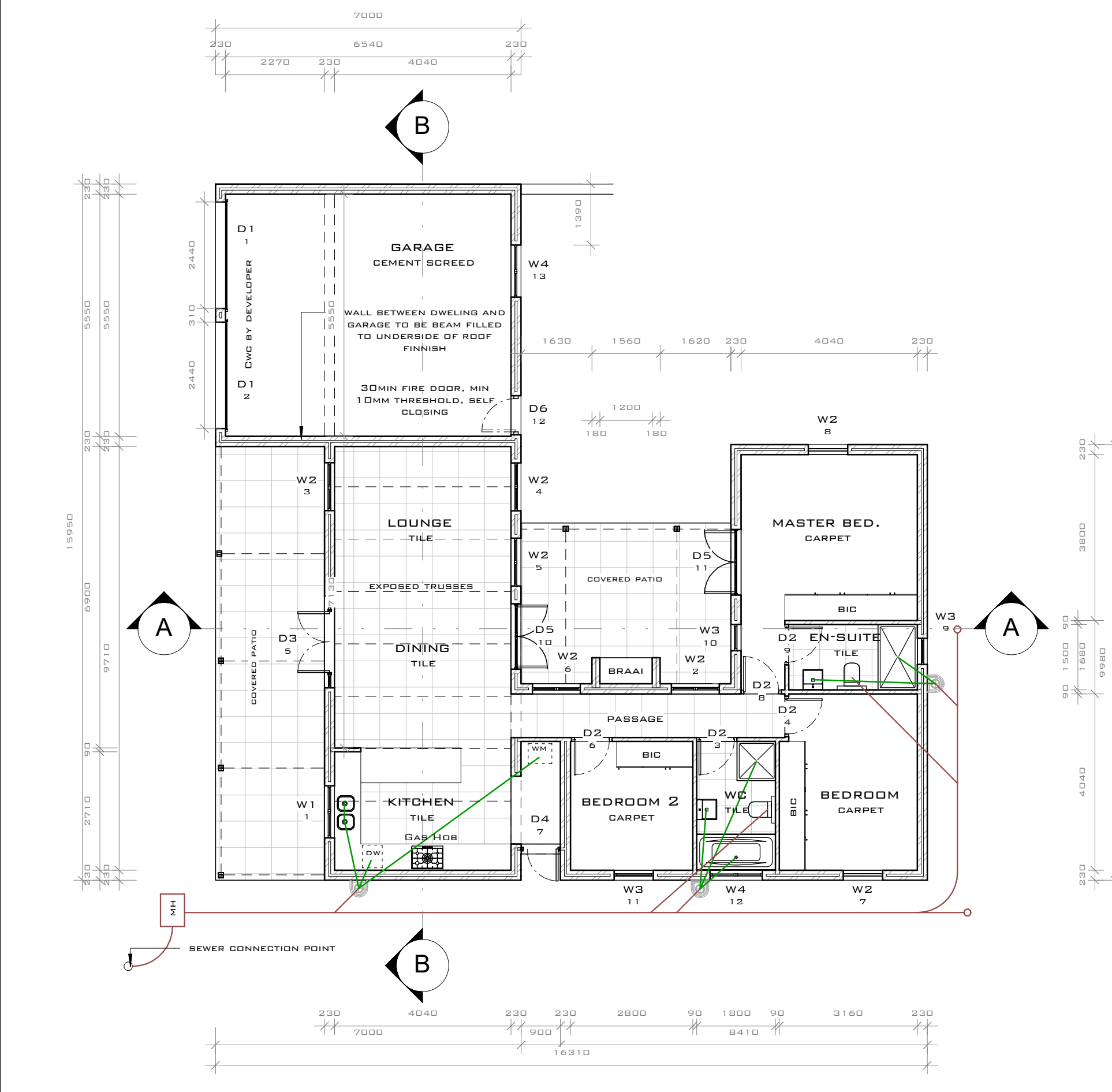
SOUTH ELEVATION
SCALE: 1 : 100



EAST ELEVATION
SCALE: 1 : 100



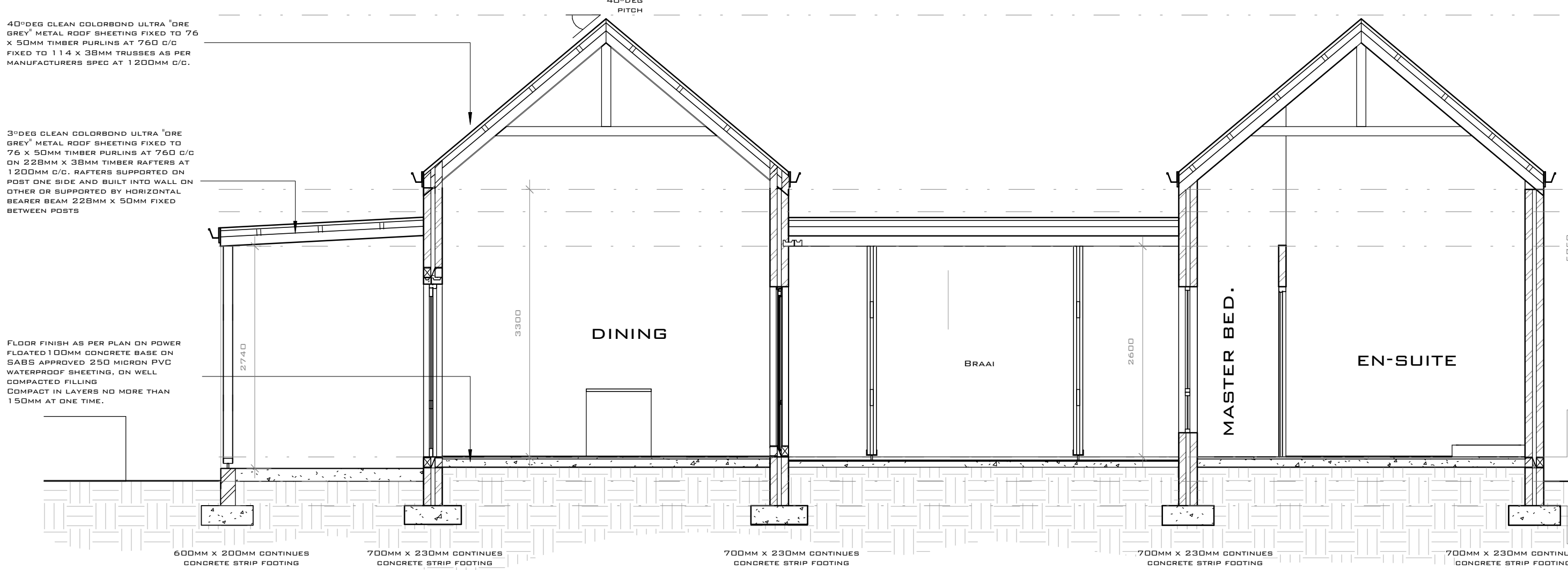
NORTH ELEVATION
SCALE: 1 : 100



GROUND FLOOR PLAN
SCALE: 1 : 100



SECTION B-B
SCALE: 1 : 50



SECTION A-A
SCALE: 1 : 50

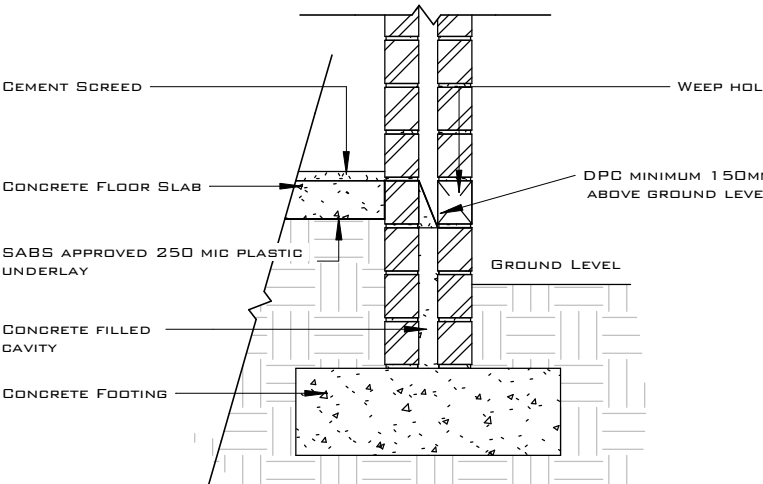
DOOR SCHEDULE					
DESCRIPTION	MARK	HEAD HEIGHT	HEIGHT	WIDTH	AREA
D1	1	2130	2130	2440	5,19 M ²
D1	2	2130	2130	2440	5,19 M ²
D2	3	2100	2100	930	1,94 M ²
D2	4	2100	2100	930	1,94 M ²
D3	5	2100	2100	930	1,94 M ²
D2	6	2100	2100	930	1,94 M ²
D4	7	2100	2100	900	1,89 M ²
D2	8	2100	2100	930	1,94 M ²
D2	9	2100	2100	930	1,94 M ²
D5	10	2100	2100	1100	2,31 M ²
D5	11	2100	2100	1500	3,15 M ²
D6	12	2100	2100	900	1,89 M ²
					34,57 M²

WINDOW SCHEDULE				
DESCRIPTION	MARK	HEIGHT	WIDTH	AREA
W1	1	1500	1200	1,80 M ²
W2	2	2100	1100	2,31 M ²
W2	3	2100	1100	2,31 M ²
W2	4	2100	1100	2,31 M ²
W2	5	2100	1100	2,31 M ²
W2	6	2100	1100	2,31 M ²
W2	7	2690	900	2,42 M ²
W2	8	2690	900	2,42 M ²
W3	9	1800	600	1,08 M ²
W3	10	1800	600	1,08 M ²
W3	11	1800	900	1,62 M ²
W4	12	1200	1200	1,44 M ²
W4	13	1200	1200	1,44 M ²
				24,84 M²

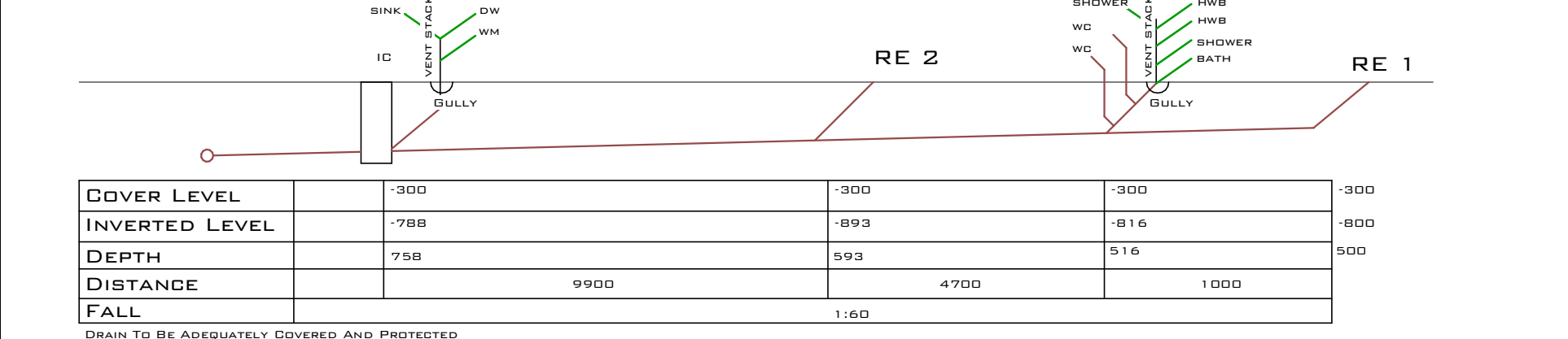
ALL STORM WATER FROM DOWNPIPES AND ROOFS TO BE LEAD TO MUNICIPAL STORM WATER DRAINS BY STORM WATER CHANNELS.

ENGINEERS SPECIFICATIONS TO TAKE PRECEDENCE

PLANS IN ACCORDANCE WITH SBDP APPROVED BUILDING MASSING



DPC DETAIL
SCALE: 1 : 20



DRAINAGE SECTION
SCALE: 1 : 100

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ACTS OF PARLIAMENT

All contractors shall ensure that, before any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.

GENERAL NOTES:

All relevant details, levels and dimensions to be checked and verified on site by the contractor prior to commencing work.

Should drawings be scaled, dimensions to be checked with designer before implemented. Overall dimensions to take precedence.

Dimensions on drawings, or intended variations are to be cleared with the designer, prior to commencement.

Should products specified not be available it is imperative to notify the designer prior to substitution.

All works to be done in accordance with the National Building Regulations & South African National Standards.

The designer accepts no responsibility for errors resulting from misinterpretation of the drawings.

The designer does not accept any liability for errors resulting from misinterpretation of the drawings.

Engineer to inspect and advise all load bearing walls, beams, slabs and to provide the necessary details where applicable.

CONSTRUCTION NOTES:

FOUNDATIONS:
750x230mm concrete strip for 230mm brick walls, 700x230mm concrete strip for 230mm yard and boundary walls.

BRICK, 50mm cavity, 115mm brick, cavity to be concrete filled to DPC level structural foundations to engineer's details

FLOORS:
TILES ON MIN 30mm THICK SCREED ON 100mm 15MPa CONCRETE SURFACE BED ON 300mm HIGH-DRAIN PROOF MEMBRANE ON LAYERS OF 150mm WELL COMPACTED FILL TO 98% MDD. A.A.B.H.T.O DAMP PROOF MEMBRANE TO BE WELL LAPPED TO BRICKWALL DPC.

WALLS:
MAIN SIZE BRICK, EXTERNAL WALLS TO BE DOUBLE SKIN WITH 50mm CAVITY TO A OVERALL DIMENSION OF 230mm. NO. 3 GALVANIZED BRICK TIES TO 230mm CAVITY WALLS.
INTERNAL WALLS TO BE 230mm DOUBLE SKIN AND 115mm SINGLE SKIN. GALVANIZED LADDER-TYPE BRICKWORK EVERY 9th COURSE WITH NO. 2 COURSES ADDITIONALLY BELOW WINDOW SILL AND ABOVE ALL OPENINGS.
PRECAST LINTOLS OVER ALL OPENINGS AND LAID IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
STEPS BRICKWORK DPC TO BE A MINIMUM OF 150mm ABOVE GROUND LEVEL WITH WEAP HOLES EVERY SECOND COURSE. ROOF, RAINWATER GOODS AND CEILING: ALL ROOF TIMBERS TO SPECIALIST ENGINEER'S SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS.

CEILING:
6,5mm Rhinoboard smooth skimmed fixed to 38 x 38mm BRANDING AT 400mm C/C FIXED TO UNDERSIDE OF RAFTERS

LEAN TO:
30mm CLEAN COLORBOND ULTRA 'GRE GREY' METAL ROOF SHEETING FIXED TO 76 x 50mm TIMBER PURLINS AT 760 C/C ON 228mm x 38mm TIMBER RAFTERS AT 1200mm C/C. RAFTERS SUPPORTED ON POST ONE SIDE AND BUILT INTO WALL ON OTHER OR SUPPORTED BY HORIZONTAL BEAMER BEAM 228mm x 50mm FIXED BETWEEN POSTS

ROOF:
CLEAN COLORBOND ULTRA 'GRE GREY' (PROFILE AS PER EXISTING DWELLING IN ESTATE). ALUMINIUM CONTINUOUS GUTTERS COMPLETE WITH 75mm DIA. DOWNPIPE. METAL ROOF SHEETING FIXED TO 76 x 50mm TIMBER PURLINS AT 760 C/C ON 228mm x 38mm TIMBER RAFTERS AT 1200mm C/C. RAFTERS SUPPORTED ON POST ONE SIDE AND BUILT INTO WALL ON OTHER OR SUPPORTED BY HORIZONTAL BEAMER BEAM 228mm x 50mm FIXED BETWEEN POSTS

FLASHING TO ALL PARAPET WALLS.
ALL TIMBER TRUSSES & RAFTERS TO BE DPC WRAPPED WHEN BUILT INTO WALLS.

GENERAL NOTES:
ALL WORK TO BE IN ACCORDANCE WITH THE SANS 10400. DIMENSIONS AND LEVELS TO BE VERIFIED ON SITE. OVERALL DIMENSIONS TO TAKE PRECEDENCE (EXT. WORK TO FIGURED DIMENSIONS ONLY). DPC TO ALL VERTICAL AND HORIZONTAL OPENINGS. FOUNDATIONS TO BE A MINIMUM OF 300mm BELOW VISIBLE SOIL. GARAGE TO BE TIED BACK TO TRUSSES WITH HDSP IRON STRAP @ 600mm CENTRES. GARAGE FLL 150mm ABOVE S.O.F. AT DRIVEWAY ENTRANCE.
HOUSE FLL 300mm ABOVE S.O.F. AT BOUNDARY I.E. ALL GLAZING THAT IS A 1500mm TO WALL TO COMPLY WITH REQUIREMENTS OF SANS 10137 & SANS 10400 PART 4. ACCESS DOORS & SIDE LIGHTS TO HAVE SAFETY GLASS. WINDOWS LOWER THAN 500mm FROM FLOOR, WINDOWS LOWER THAN 1800mm ABOVE FINISH LINE OF STAIRS AND SHOP FRONTS TO BE SAFETY GLASS. ALL GLAZING TO COMPLY WITH SABS D137.
RE'S OR IE'S AT ALL BENDS AND JUNCTIONS WITH MARKED COVERS AT GROUND LEVEL.
600mm BENDS TO DRAINAGE RUN.
MINIMUM DEPTH OF 400mm BELOW COVER LEVEL.
COVER LEVEL 75mm ABOVE BOUNDARY I.E.
PARAPET WALL NOT TO EXCEED 500mm IN HEIGHT.
WALLS BETWEEN HOUSE AND GARAGE TO BE BEAMFILLED.
ALL HANDLES AND IE'S UNDER DRIVEWAYS OR CONCRETE SLABS TO BE SEALED WITH HEAVY DUTY COVERS.
CONTRACTOR TO ENSURE THAT A BALANCED WATER PRESSURE SYSTEM IS INSTALLED WITH ALL VALVES ETC. HOUSED IN ROOF SPACE.

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AMPHORIA
 SIGNATURES

 AUTHOR OWNER

PHILADELPHIA
MEUL ROAD
ERF 283

PROPOSED NEW DWELLING

15 APRIL 2019 DRAWN RIKUS BRUWER

PHIL283-01-01
 SCALE As indicated SACAP REG: T1248